

## Chapter 3: Changes to Building Exteriors

<b>A. General Guidelines for Existing Structures</b>	<b>25</b>
<b>B. Wood</b>	<b>26</b>
<b>C. Masonry &amp; Stone: Foundations &amp; Chimneys</b>	<b>28</b>
<b>D. Architectural Metals</b>	<b>30</b>
<b>E. Paint &amp; Exterior Color</b>	<b>31</b>
<b>F. Roof</b>	<b>32</b>
<b>G. Exterior Walls &amp; Trim</b>	<b>34</b>
<b>H. Windows &amp; Doors</b>	<b>36</b>
<b>I. Porches, Entrances &amp; Balconies</b>	<b>39</b>
<b>J. Utilities &amp; Energy Retrofit</b>	<b>41</b>
<b>K. Accessibility &amp; Life Safety Considerations</b>	<b>43</b>
<b>L. Non-Contributing Structures</b>	<b>45</b>

## Chapter 3: Changes to Building Exteriors

### A. General Guidelines for the Existing Structure:

These guidelines are to be applied to every application submitted unless the applicant is proposing new construction.



### Guidelines:

1. The first priority is for building exteriors is to maintain the historic character of the structure by retaining, repairing, protecting and preserving the dimensions, details, patterns, textures and finishes. If portions are too deteriorated to preserve, then replace only deteriorated portion with same as original material.
2. If use of original material is not feasible, then replace with a material that is compatible in design, dimension, material, pattern, detail, texture and finish.
3. As a last resort, if all of the current material needs to be replaced introduce new material that is compatible with the original in design, dimension, material, pattern, detail, texture and finish.

\*\*\*Note: Historic Preservation Commission approval does not automatically constitute approval from the City of Statesville or the Iredell County Building Codes Department.

## B. Wood

Throughout Statesville's historic districts, wood in a variety of applications is the most common exterior cladding and architectural trim work material. Even the brick homes in the districts are also ornamented with wooden porches, exterior trim work, windows, and doors.

Both the building technologies and the preferred architectural styles of earlier eras are reflected in the variety of wooden features and trim found in Statesville's older neighborhoods. Applied wooden moldings often perform as functional as well as decorative role by accommodating or concealing the joints between different materials or intersecting planes on the building exterior.



### Guidelines:

1. Do not remove, only preserve, repair or replace (with like kind) historic wood features (such as cornices, brackets, bays, turrets, fascias, and decorative moldings) and surfaces.
2. Use only appropriate preservation methods including patching, splicing, reinforcing, and consolidating, as well as using epoxy repair products.
3. It is not appropriate to cover or replace historic wood features or surfaces with contemporary substitute materials such as vinyl, aluminum, plywood panels or cement fiber board.
4. When replacing damaged wood on porches and other exposed locations, it is best to select a decay-resistant wood of appropriate design.
5. It is not appropriate to add wood features or details such as vents, eaves, bays and window or door openings in exterior walls, if they diminish the historic character of the structure.
6. Porch rails (new or original) must be of a design that is appropriate to the architectural style of the structure.

**Major (Commission approval required):**

Replacing over 60% of original siding or replacing siding that is not the same in material or design.

Exterior Alterations to principal elevations of buildings

Modification and/or removal of contributing historical features

**Minor (Staff approval required):**

Trim work, milling, and other decorative wood elements can have minor alterations, modifications, additions and/or removal of architectural detail on the rear elevation of a structure.

**Routine:**

Removal of non-original siding (synthetic sidings such as vinyl, aluminum and asbestos)

Replacing original deteriorated siding and trim in the course of ordinary maintenance or repair that does not involve a change in design, material or appearance.

Repair and replacement of architectural details when there is no change in design, materials or general appearance

**Requirements for application:**

Materials List

Elevation Drawings, if applicable

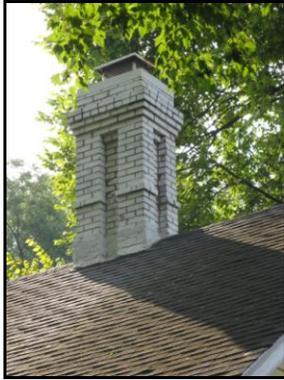
Product samples/Brochure

Pictures

Plan drawings where applicable

### C. Masonry and Stone: Foundations and Chimneys

Statesville has long been known for its manufacture of brick in the nineteenth century, four brick manufacturing companies were operating in Statesville. Brick facades, river rock cobble foundations and retaining walls, tile roofs, corbelled brick chimneys, and concrete walkways are all examples of masonry features found within Statesville's historic districts. Most wood frame houses sit on raised brick foundations or piers. A wide variety of masonry features in the historic districts contribute texture, color, pattern, and scale.



#### Guidelines:

1. Retain and protect the historic details and finishes of masonry features and surfaces including their configuration, dimensions, bonding patterns, and texture.
2. It is not appropriate to apply a waterproof coating or painting to exposed masonry/stone. Only use water proofing elements on masonry or stone that is below grade.
3. Parging will only be allowed if it is determined the structure's masonry elements are dramatically damaged and the process will not have a detrimental effect on the architectural style of the building (reference Appendix C: Architectural Terms).
4. If a surface has been previously painted, it shall be repaint, as necessary, in the appropriate color palette related to the style of architecture.
5. When replacing damaged brick or stone, use replacements that match the original units as closely as possible.
6. For re-pointing, use only mortars that are compatible with historic mortars in composition, color, strength, and joint finish or surface tooling. Maintain the historic joint width, profile and bond patterns when making repairs. Modern mortar can cause damage to older softer brick.
7. It is not appropriate to shorten or remove original chimneys when they become deteriorated; however non-essential to the character of the structure. Chimneys/stacks that were added later may be removed if it will not diminish the original design of the roof or destroy the historic details.
8. Construct new or replacement chimneys and foundations of historically appropriate materials such as brick or stone. It is not appropriate to use substitute materials that simulate brick or stone.
9. If metal chimney caps or other covers are necessary, install them so they do not diminish the original design of the chimney or damage historic materials.
10. If all or parts of a historic masonry feature or surface are missing, either replace them to match the missing original (based upon accurate documentation) or replace it with a new design that is compatible with the building's architectural character.
11. It is not appropriate to add masonry features or details to a building or site in an attempt to create a false historic appearance.
12. Retain and preserve original and historic foundations and related elements wherever possible, including: pier size, vents, grilles, lattice, materials, and other significant details. For repairs or

- rebuilding, select new brick, mortar, ballast stones, and other materials to match the historic materials as closely as possible in all respects. Applies to visual portions only.
13. New vents or access doors should be centered between piers. Use inconspicuous vents, such as black iron or dark plastic, rather than unpainted aluminum. Locate access doors and other new openings in areas not visible from public view.
  14. For infilling between existing brick piers, construct a curtain wall that catches the ban edge on the porch and is recessed approximately 2” back from the outer face of the piers so the original piers stand out; use this treatment for both old and new foundations. Flush foundations and infill are not appropriate. Concrete block may be used only if covered with a veneer of brick or sand-finished stucco. Leave foundations under porches open wherever possible to promote air circulation to prevent rot and deterioration; use wood lattice or grilles for enclosure.
  15. Wood grilles or lattice are appropriate for infill if compatible with the period or style of the structure. Stock lightweight lattice is not appropriate in areas in the public view.

**Major (Commission approval required):**

- Chimney removal, construction of new or modification
- Rebuilding foundations
- Introduction of new masonry elements

**Minor (Staff approval required):**

- Removal of original Chimney Cap
- Construction, modification or removal of masonry
- Alteration of exposed foundations
- Gutter installations not meeting routine maintenance criteria below

**Routine:**

- Re-pointing masonry and stone surfaces
- Installation/removal of metal chimney caps if not original to the house
- Repair and replacement including re-pointing, to existing Masonry (including foundations) when there is no change in design, materials, or general appearance
- Installation of seamless aluminum gutters with a baked enamel finish, as long as no alterations to the soffit and fascia are done as part of the installation

**Requirements for application:**

- Materials List
- Product samples/Brochure
- Photos
- Diagrams showing placement of materials

## D. Architectural Metals

Architectural metal features including pressed metal shingles, standing seam roofs, wrought iron fences, cast iron railings and grilles (metal grating), brass hardware, decorative roof finials, and copper gutters contribute to the architectural character of Statesville's historic districts. Whether wrought, rolled, cast, pressed, or extruded, the resulting texture, detail, and shape of different architectural metals is generally defined by the manufacturing process. The color may be inherent to the metal, as is the case with copper and bronze, or applied as is the case with ferrous metals, which must be painted to prevent corrosion.



Decorative Turret Cap



Widows Walk



Decorative Roof Element

### Guidelines:

1. If all or parts of a historic architectural metal feature or surface are missing, either replace to match the missing original (based upon accurate documentation) or replace with a new design that is compatible with the building's architectural character.
2. It is not appropriate to add architectural metal features or details to a building in an attempt to create a false historic appearance.
3. While copper, bronze, stainless steel, and aluminum develop a patina that protects them from corrosion protected by a sound paint film. If a paint film is allowed to deteriorate then it is appropriate to paint the metal with the proper products to aid preservation, ferrous metals (those metals containing iron) will continue to corrode if they are not properly coated.

### Major (Commission approval required):

Introduction of new metal features

### Minor (Staff approval required):

Construction, modification and removal of metal features

### Routine:

Repair and replacement of metal when there is no change in design, materials, or general appearance

### Requirements for application:

Materials List

Product samples/Brochure

Photos

### E. Paint and Exterior Color

The Statesville Historic Preservation Commission does not regulate **paint color**, since colors are a matter of personal taste; however the SHPC does strongly encourage all historic district property owners to use proper contrasts in their paint schemes. When choosing a paint scheme it is also recommended that paint colors should be historically appropriate for the age and style of the building today's market offers a wide range of colors that are historically documented or historically appropriate, so property owners can express their individuality while still maintaining the historic integrity of the house structure. The Appendix H provides references on appropriate paint colors.

If a property owner is interested in repainting a historic building in its original paint scheme, those colors can usually be determined through a paint sample analysis by a preservationist. A Certificate of Appropriateness is not required for the painting of any building in Statesville's historic districts. If repainting an older structure, property owners should be aware that the presence of deteriorated lead-based paint (used commonly through the 1950s) creates a health hazard and certain precautions are necessary to ensure a lead-safe building and site. **Note: Staff is available to help with appropriate color schemes based on the architectural style of the structure being reviewed.**



#### Guidelines:

1. Repaint previously painted exterior features and surfaces in colors appropriate to the style and period of the historic building.
2. Old paint should not be removed by sandblasting or other abrasive or destructive methods to remove all paint layers.
3. It is not appropriate to paint stone, brick, concrete, or metal features that were not painted historically above grade.
4. The painting of unpainted brick or masonry will require a Certificate of Appropriateness. Painting brick or masonry is not considered a change of color, but a fundamental change in the character of a building. The painting of brick or other masonry material will not be permitted except in such special circumstances as:
  - The repainting of buildings first painted prior to the establishment of the appropriate historic district
  - Cases where a brick building has poorly matched additions or repair work, and where the painting is designed to unify the disparate parts of the building.

#### Major (Commission approval required):

Painting un-painted brick or masonry

#### Routine

Preserving and retaining paint finishes

#### Requirements for application:

Materials List

Product samples/Brochure

Photos

## F. Roofs

The obvious role of the roof is to shelter the structure from the weather. The roof is considered one of the most important features in protecting and preserving a structure. Therefore at all costs, the visual prominence of the roof form and pitch makes their preservation critical to preserving the overall character of a historic building. The variety of roof forms found throughout Statesville's historic districts reflects the diversity of architectural styles they contain. Although both steep gable and hip roof forms are the most typical of the many Victorian era roofs, gambrel and mansard roofs are the most typical of the many Queen Anne era roofs. The lower pitched gabled roofs a representative of the bungalows. Corbelled chimneys, prominent dormers, vertical towers, elaborate gable trim work, exposed brackets, and boxed cornices are all historic roof features that enhance the architectural character of historic roofs. While many roofs are now covered in contemporary asphalt or composition shingles, a number of metal roofs both pressed shingle and standing seam are found in the districts. There are a few houses that still have a slate or tile roof.



Tile Roof



Asphalt Shingles



Metal Shingles

### Guidelines:

1. Retain and preserve original roof form, pitch, overhang and significant features such as chimneys, dormers, turrets, cornices, balustrades and widow's walks.
2. It is not appropriate to remove built in gutters. Install new gutters and downspouts, if needed, with care so that architectural features are not damaged. Paint or select enamel finishes for gutters and downspouts in colors compatible with the building.
3. Preserve and maintain historic roofing materials that are essential in defining the architecture of a historic structure, such as clay "mission tiles" or patterned slate. If replacement is necessary, replace only the deteriorated material with new material to match the original.
4. Retain historic roofing materials; if replacement is necessary due to deterioration, match the historic material as closely as possible in color, shape, size and texture. Acceptable substitute roofing materials as determined by the Historic Preservation Commission shall be allowed. Since historic roofing materials were traditionally dark in color light colored composition shingles are not appropriate. Galvanized standing seam with a large "agricultural" ridge (5V), usually for ventilation is not acceptable in the historic district, except in some cases for accessory structures. Instead standing seam metal with a crimped edge should be used.
5. Preserve and maintain original roof details such as decorative rafter tails, ornamental brackets, crown molding, soffit boards, or cresting. If replacement is necessary, the new detail should match the original.
6. It is not appropriate to install contemporary features such as mechanical equipment, satellite dishes, dormers, chimneys, ventilators, solar panels, and skylights on roofs of historic buildings unless they can be located in areas that are not visible from the street and do not compromise the historic character of the roof.
7. Avoid altering the existing roof pitch or introducing new roof pitch.

**Major (Commission approval required):**

Change in roofing material, including the removal and replacement of slate, terra cotta tile, standing seam metal, and metal shingle roof material. (Asphalt shingles are not included)  
Removal, Repair or replacement of built in gutter systems or other roof features  
Modern style roofing material

**Minor (Staff approval required):**

Change in roofing materials when roofing material is not documented as contributing on the historic survey. (The applicant shall choose a product close to the original in style and durability when replacement over entire roof is warranted).  
Installation, modification or removal of vents and ventilators  
Removal, addition or modification of chimney caps that is not original to the structure

**Routine:**

Patching and/or coating the roof.  
Installation of gutters and downspouts when original features are not altered or removed  
Replacement of existing roofing materials, vents and ventilators when there is no changes from the existing material, style and texture.

**Requirements for application:**

Materials List  
Photos of the original roof  
Brochure or photos of the proposed roofing material

**Appropriate Roof Covering:**

Metal: Standing Seam or Decorative Shingles  
Tile  
Slate  
Cedar Shakes  
Fiberglass/ Asphalt (3 tab or architectural) Shingles  
Modern Roofing Material

## G. Exterior Walls and Trim

In Statesville's historic districts, frame houses faced in wood clapboards and embellished with wooden trim work, often in late Victorian-era styles fill the streetscapes. The forms of some Queen Anne style houses incorporate bays into their asymmetrical shapes; their exterior walls are highly articulated by decorative trim and their gables or second stories are sometimes differentiated from the clapboards by wooden shingles. Statesville's large Colonial Revival style houses echo much of the same massing and vertical proportions in their exterior walls but they incorporate more classical, less delicate trim work. Later bungalows combine simpler, boxier trim work with a more horizontal, symmetrical form than the earlier houses. The types of wood siding found include horizontal beveled siding, flush board siding, and narrow German lapped siding. Mixed in with the many frame houses from all these periods are numerous brick houses.



### Guidelines:

1. It is not appropriate to compromise the architectural character of a historic building by either introducing or eliminating window or door openings, balconies, bays, chimneys, or vents on its character defining exterior walls, unless there is no other feasible opinion to comply with American Disability Act's regulations.
2. It is not appropriate to remove or conceal material details of historic exterior walls including wooden shingles, brackets, panels, corner boards, band boards, and decorative trim work.
3. It is not appropriate to replace or cover over historic wall materials including clapboard, brickwork, stucco, and shingles with contemporary coatings or substitute sidings such as vinyl, asbestos, asphalt, fiber board, or aluminum. Cement Fiber board products are inappropriate unless expressly approved by the Historic Commission on a case by case basis.
4. It is not appropriate to add features or details to an exterior wall in an attempt to create a false historical appearance.
5. Preserve and maintain existing original wood siding, trim, ornamentation, and other wood decorative elements.
6. Use preservation techniques which encourage repair (such as epoxies, splicing, and patching where applicable) rather than whole sale replacement.
7. Avoid replacing clapboard siding with shingle siding (or vice versa) or replacing clapboard siding with siding of a different width or profile, particularly if the later siding has gained historic significance.
8. The use of imitation or pressed wood, vinyl, or aluminum siding is not permitted.
9. The use of fiber cement siding may be approved for new structures, non-historic structures and additions to historic structures not visible from public streets.
10. Blown in insulation should be placed in a house so as not to disturb siding.

**Major (Commission approval required):**

Removal of an exterior wall to create an addition

**Minor (Staff approval required):**

Alteration, addition or removal of trim work

**Routine:**

Repair and replacement of exterior walls and trim when there is no change in design, materials or general appearance

**Requirements for application:**

Materials list

Brochures

Dimensions

Elevations

## H. Windows and Doors

Windows and doors add rhythm, scale, and stylistic detail to the buildings in Statesville's historic districts as they also accommodate daylight, access, view, and ventilation for the occupants. Most typical throughout the neighborhoods are wooden double hung windows in a variety of pane configurations and paneled wooden front doors, often with glazing in the upper half. Double front doors and entrances with transoms and sidelights add interest to some of the larger homes as well. The variations in sash subdivision from the straight forward one-over-one sash of many bungalows to the elaborate diamond pane sash of some Queen Ann houses reinforce the diversity of architectural styles found throughout the districts.



### Guidelines:

1. Retain and preserve the pattern, arrangement, and dimensions of window and door openings on principal elevations. Often the placement of windows is an indicator of a particular architectural style, and therefore contributes to the building's significance. If necessary for technical reasons, locate new window or door openings on secondary elevations (sides and rears), and introduce units that are compatible in proportion, location, shape, pattern, size, materials, and details to existing units.
2. For commercial and/or institutional buildings in need of a utility entrance on secondary elevations, select a location that meets the functions of the building, but is least visible from the street and causes the least amount of alteration to the building.
3. It is not appropriate to introduce new window and/or door openings into the principal elevations of a contributing historic structure.
4. Glass block replacement windows are allowed only on the side and rear elevations. Such change is only allowed per elevation as long as the window opening is not being altered.
5. Replacing panes with stained, leaded or beveled glass is potentially acceptable as long as the configuration remains the same and the new design does not conflict with the style of the building.
6. Retain and preserve original windows and doors, including such elements as sash, glass, sills, lintels, casings, muntins, trim, frames, thresholds, hardware and shutters. If repair of an original window or door element is necessary, repair only the deteriorated element to match the original in size, composition, material, dimension, and detail by patching, splicing, consolidating, or otherwise reinforcing the deteriorated section. The removal of historic materials should be avoided.
7. When repair is not feasible true divided light wood windows are an appropriate replacement product for original wood windows, when designed to match the original in appearance, detail, material, profile, and overall size as closely as possible. Double-paned glass may be considered when they are simulated true divided and can accurately resemble the original window design.
  - A. It is not appropriate to replace true divided light windows with vinyl windows or windows with snap-in muntins.

- B. Window products will be reviewed on an individual basis using the following criteria:
    1. Kind and texture of materials
    2. Architectural and historical compatibility
    3. Comparison to original window profile
    4. Level of significance of original windows to the architectural style of the building
    5. Existence of lead paint or other safety hazards
    6. Material performance and durability
  8. For commercial and/or institutional buildings, or the replacement of steel casement windows, if it is not feasible to repair original windows select replacement products that are compatible in proportion, location, shape, pattern, size, and details to the original window component using the criteria as stated in 7.B.
  9. It is not appropriate to significantly alter the street facade of a historic building by either introducing or covering over window or door openings.
  10. Introduce new windows or door openings, if necessary, in carefully considered locations and only on non-character-defining elevations.
  11. It is generally not appropriate to replace clear glass with tinted and bronzed glass in the historic districts
  12. Tinted glass is not appropriate in the historic district in any area visible from public view. Energy-saving or “low-E” glass may be used only if it is not tinted.
- Note: See the Utilities and Energy Retrofit section for guidelines on storm windows, storm/screen doors, awnings, and shutters.*

**Major (Commission approval required):**

Replacement of original window/s and door/s.

Removal or addition of a window or door opening on elevation visible from the street

**Minor (Staff approval required):**

Exposing a previously covered window unit with replacement according guideline number 7B

Modification of existing window openings

Modification and removals of doors, new doors that are compatible with the architectural style of the structure

Glass Block replacement window (one per elevation) on side and rear elevations

**Routine:**

Re-glazing of windows

Broken Window pane replacement

Repairs to original wood windows and doors when there is no change in appearance and materials

Painting window trim (not glass)

Installation of full view (glazed) storm windows and doors. Either wood or aluminum with baked enamel or painted finish is acceptable.

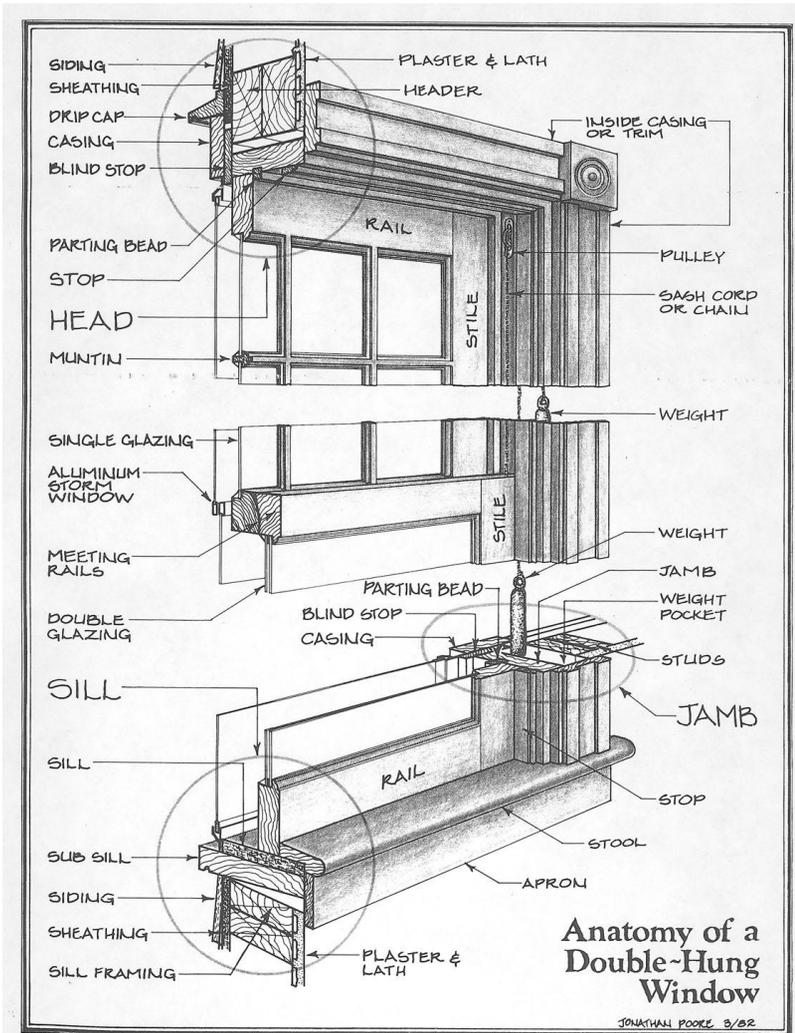
**Requirements for application:**

Project description

Scaled Elevation drawings of existing windows, replacement windows, and doors

Scaled elevation drawing of proposed changes to window and door openings

Photos, illustrations, samples of proposed replacement units



## I. Porches, Entrances, and Balconies

Deep front porches span the full width of many homes and line the streetscapes of Statesville's historic districts contributing in significant ways to their overall character. Although the stylistic details vary, the functional and decorative features of these one story wooden porches typically include columns, pilasters, balustrades, soffits, piers, steps, beaded board ceilings, and tongue-and-groove floors. Second story balconies and an occasional classically detailed two-story portico also can be found within the districts.



### Guidelines:

1. Retain and preserve historic porches, entrances and doorways including related features such as railings, posts or columns, ceilings, steps, lattice, flooring, visible piers, ornamental trim, side-lights and other character defining elements.
2. Repair, rather than replace, historic porch and entrance elements, wherever feasible. Use repair techniques which preserve historic material, including patching, epoxy repair, reinforcing, or splicing-in of new wood in place of deteriorated sections. Replacement elements should match the original in size, shape, pattern, color, and texture.
3. Use appropriate materials in the repair and restoration of historic porches. Woods that are naturally rot-resistant or treated will provide the greatest durability for exposed elements such as railings, steps, flooring, and floor framing. The use of pressure-treated wood is appropriate when painted within six months. The use of substitute material that duplicates the look and patina, and architectural detail is allowed.
4. Covering a porch with non-historic material such as vinyl or metal siding, or "winterizing" a screened porch by permanently attaching plastic sheeting is not permitted.
5. Using indoor-outdoor carpeting to weather-proof a porch floor is not permitted.
6. If all or parts of a historic porch, entrance, or balcony are missing, either replace it to match the missing original (based upon accurate documentation) or replace it with a design that is compatible with the historic building and district.
7. It is not appropriate to significantly alter the street facade of a historic building by either introducing a new porch, entrance, or balcony or removing an original porch, entrance, or balcony.
8. It is not appropriate to add features or details to a porch, entrance, or balcony in an attempt to create a false historic appearance.
9. Screening a porch may be appropriate when it is installed and designed in a way that does not alter or detract from the details of the original porch and uses compatible materials to the original structure. For example, porches may be screened if the framing is recessed, the screening placed behind columns or balustrades and the framing can be removed in the future without damaging historic elements of the porch.
10. Because of their character defining role it is not appropriate to enclose front porches. Side and rear porches may be enclosed to create sunrooms if the design of the enclosure is compatible with the architecture of the structure and does not result in a loss of historic fabric or architectural detail.
11. Gates of any kind at the foot of porch steps create an unnecessary visual barrier and are not appropriate.

12. Replacement of wooden front porch floor with a poured concrete floor is not appropriate in the historic district.

**Major (Commission approval required):**

- Enclosure of porches
- Removal/adding porches on front or visible elevations from the street
- Construction of New Exterior stairs and steps

**Minor (Staff approval required):**

- Replacement of deteriorated trim boards, flooring and ceiling, steps and railings, cheek walls and similar projects
- Screening of side/rear porches according to guidelines
- Removal or addition of porches on the rear elevations or areas not visible from the street
- Modifications to existing stairs or steps

**Routine:**

- Minor repairs to materials and features when repaired to match the original
- Repairs to porch flooring and ceilings, trim boards, railings, brackets, stairs and similar projects when there is no change in design, materials or general appearance

**Requirements for application:**

- Project description
- Photos of architectural features proposed to be replaced
- Scaled elevation drawings for addition of missing porches, balconies, and similar projects
- Construction details for addition or replacement of porch columns, railings and similar projects

## J. Utilities and Energy Retrofit

In Statesville's historic neighborhoods, a variety of traditional energy conservation practices continue to benefit today's residents. Mature trees provide shade for many houses protecting them from the solar gain of direct summer sun. Double-hung windows, typical of buildings in the historic districts, allow residents to control the exchange of fresh air and capitalize on cool breezes. The gracious depth of front porches mediates the intrusion of outside temperatures and offers shady outdoor living areas. Gable vents, tall attics, ventilated crawl spaces, high ceilings, operable transoms, awnings, and shutters are other traditional energy conserving features that continue to offer thermal relief to occupants of historic houses. It is important to accommodate contemporary energy conservation measures, upgrades in mechanical systems, and new communication or utility services in Statesville's historic districts in ways that do not compromise their historic character.



### Guidelines:

1. Improve the thermal efficiency of historic buildings through traditional, appropriate methods including caulking and weather-stripping, re-glazing loose window panes, and, where appropriate, installing storm windows and doors, operable shutters, or awnings.
2. Storm doors and windows should avoid obscuring the design of the front door or main windows; therefore storm windows and doors must match the size of the existing window or door.
3. Paint or select enamel finishes for storm/screen doors and storm windows in colors compatible with the existing door finish or sash color. Bare aluminum finish is not appropriate in the historic districts.
4. Install fabric awnings, if desired and historically appropriate, with care over window, door, or porch openings to ensure that historic features are not obscured or damaged.
5. Minimize the visual impact of new utilities and mechanical equipment including heating and air conditioning units, generators, meters, exposed pipes, cables and wires by locating them inconspicuously in areas not visible from the street and screening them from view.
6. It is not appropriate to introduce mechanical or communication equipment including solar collectors, satellite dishes, and mechanical units in locations that visually compromise the character of a prominent exterior elevation or a historic roof, or on roof slopes visible from the street or screening them from view.
7. Select exterior storm windows and doors that are wood or painted/coated with a baked enamel finish, and that do not damage or obscure the original windows and doors when installed. Select storm doors with full glazing to maximize the view of the door. Unfinished aluminum windows and doors are inappropriate for the Historic Districts.
8. Where historically appropriate, install fabric or metal awnings so that they do not damage or conceal architectural details or historic materials.
9. Properties that historically had shutters (for the time period and age shutters were operable) or properties did not have shutter should remain as they were originally.
10. Window shutters should be wood and designed to fit the window opening and attached to the window casing. Shutters should be introduced only when historically appropriate to the architecture of the building, or when it is documented that shutters are original to the building. Aluminum or vinyl shutters are inappropriate for the Historic Districts.
11. Louvered wood doors are appropriate

**Major (Commission approval is required):**

- Installation of inoperable shutters or shutters that are not original to the structure
- Installation or removal of awnings or canopies

**Minor (Staff approval is required):**

- Installation of full view (glazed) storm windows and doors. Either wood or aluminum with baked enamel or painted finish is acceptable.
- Removal of storm windows and doors
- Installation of Satellite Dishes and/or antennas, if visible from street view
- Installation/replacement of mechanical equipment, such as heating and air conditioning units
- Installation or removal of shutters when original to the structure

**Routine:**

- Caulking and weather stripping windows
- Installation of window air conditioners
- Repair and replacement of awnings, canopies or shutters when there is no change in design, materials or general appearance

**Requirements for application:**

- Site plan with dimensions
- Brochure
- Photos

### **K. Accessibility and Life Safety Considerations**

Compliance with current building code and/or life safety standards may be engaged, if the use of a historic building is changed, substantial rehabilitation is planned, or there is a need for public access is needed. For historic properties some flexibility is allowed in meeting current standards for both the North Carolina State Building Code and the Americans with Disabilities Act of 1990. The Historic Preservation Commission does not review proposed uses for historic buildings; however, the HPC does review proposed changes to a historic building and its site to determine if exterior changes are consistent with the design guidelines for Statesville’s historic districts.

When considering accessibility and life safety consideration, certain steps should be taken. Give full considerations in planning new uses or changes for historic buildings to accessibility and life safety code implications. Seek the input of the Historic Preservation Staff, local code officials, and preservation specialists in identifying appropriate solutions that meet or exceed accessibility and life safety code requirements.



#### **Guidelines:**

1. Meet accessibility and life safety codes in ways that do not compromise the overall historic character of the building and site.
2. When constructing a ramp, the required slope of the structure and any required rest platforms should be in as small an area as possible without inconveniencing potential users and shall comply with ADA.
3. If possible utilize landscaping to minimize the visual impact of ramps.
4. In lieu of a ramp, applicants should consider the use of mechanical lifts or other devices where feasible, as a less intrusive alternative.
5. Introduce new or additional means of access or egress and alterations if necessary, in ways that do not compromise the design of a historic structure and preferably in a reversible manner
6. Design and locate fire exists, fire stairs, or related features so their visual impact is minimized. Locate such features on non-character-defining elevations, such as rear walls.

**Major (Commission approval required):**

Construction of new exterior steps

Installation of fire exits, stairs and landings

Construction of permanent wheelchair ramp/s on the front elevation or areas visible from the street

**Minor (Staff approval required):**

Construction of permanent wheelchair ramps on side and rear elevations when not visible from the street.

Installation of temporary/emergency wheelchair ramps when they are not attached to the building and are located in the front yard.

**Routine:**

Installation of temporary/emergency wheelchair ramps when they are not attached to the building in either the side or rear yard

Installation of portable wheelchair ramp

**Requirements for application:**

Project description

Site plan showing the location of proposed ramps, fire stairs and other safety elements

Scaled elevation drawings for fire exits or other alterations to meet safety and code requirements

### **L. Changes to Non-contributing Structures:**

There are structures located in Statesville’s Historic Districts that were built after the current period of significance. The period of historical significance is subject to revision periodically. While these structures may be considered “non-historic” or non-contributing”, they are still part of the fabric of the historic districts. The goal of the design guidelines is to ensure that changes to non-contributing structures “do no harm” to the special character of the buildings and the district.

Non-contributing structures should follow the guidelines under Site Features (Chapter2) to preserve and contribute to the character of the neighborhood. For projects pertaining to the building itself, the guidelines under Changes to Buildings should be used, following the guidelines below for direction in their level of interpretation. For examples of approved products that may be acceptable for repairs on non-contributing structures, refer to Appendix G: New Construction Materials Guide.



### **Guidelines:**

1. Every effort should be made to maintain the architectural integrity of non-contributing structures. Replacement materials should be carefully evaluated to ensure that they maintain the character of the building and the district. For example, covering wood trim with vinyl on a brick building is not recommended.
2. It is not appropriate to add historic ornamentation to create the illusion of an historic structure.
3. For additions and alterations, choose materials and treatments that maintain the character of the building’s architectural style.
4. Retain features that are characteristic for the architectural style on non-contributing buildings. It is not appropriate to simply remove deteriorated architectural features rather than replacing them in kind.

\*Please reference the section relating to the work being proposed for a non-contributing structure. The guidelines above are general information and guidelines that solely pertain to structures that are non-contributing on the historic survey.